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Tx:4431325

**Return to:**

City of Troy  
Attn: Andrea D. Lambert  
116 E. Market Street  
Troy, Illinois 62294

**2019R13810**  
STATE OF ILLINOIS  
MADISON COUNTY  
05/06/2019 02:27 PM  
AMY M. MEYER, RECORDER  
REC FEE: 61.00  
CO STAMP FEE:  
ST STAMP FEE:  
FF FEE:  
RHSPS FEE:  
# OF PAGES: 38

61.00 (CTY)

**THIS PAGE BEING ADDED  
FOR RECORDER'S USE ONLY**

Resolution 2019-05

ed

City of Troy, Illinois

*Resolution No. 2019-05*

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**RESOLUTION OF THE CITY COUNCIL ADOPTING A PRELIMINARY  
DEVELOPMENT PLAN FOR A PLANNED DEVELOPMENT-RESIDENTIAL  
(PD-R) KNOWN AS SERENADE**

***Whereas***, Merrill Ottwein is the owner/developer of 25+ acres of land on Dorothy Drive located in the City of Troy, Madison County, Illinois and is proposing to establish a Planned Development-Residential (PD-R) consisting of 31 duplexes and 62 villas known as Serenade; and

***Whereas***, Merrill Ottwein previously proposed a similar Planned Development-Residential (PD-R) in June of 2015; the Planning Commission complied with the provisions set forth in *Section 154.064 Planned Developments* of the Zoning Ordinance and reviewed and recommended the development plan and rezoning to PD-R on June 11, 2015; and

***Whereas***, on June 15, 2015 the City Council accepted the Planning Commission's Recommendation and adopted Ordinance 2015-17 but the plan expired and was never resubmitted; and

***Whereas***, the application for a planned development was again submitted on February 10, 2019 and the Planning Commission has complied with the provisions set forth in *Section 154.064 Planned Developments* of the Zoning Ordinance by holding a public hearing pursuant to notice as required by statute for consideration of the PD-R preliminary development plan; and

***Whereas***, on February 28, 2019 the Planning Commission recommended approval of the PD-R preliminary development plan as noted Recommendation No. 2019-024PC hereto attached; and

***Whereas***, on March 18, 2019 the City Council accepted the Planning Commission's Recommendation as per the meeting minutes as hereto referenced; and

*Whereas*, the proposed PD-R, as evidenced by the preliminary development plan, has been reviewed the City engineer and complies with all applicable codes and ordinances.

*Now Therefore*, be it resolved by the City Council of the City of Troy, Madison County, Illinois as follows:

Section 1. The recitals set forth above are true and accurate and are hereby adopted and incorporated herein as if fully set forth.

Section 2. The PD-R preliminary development plan as attached hereto as Addendum 1 is hereby approved.

Section 3. **Payment for allocation.** In addition to providing the required areas of common open space within the residential development, the owner/developer shall pay to the City the sum of \$500 per dwelling unit. This payment shall be allocated to one or more of the following accounts as determined by the City Council: (1) a street improvement account; (2) a sewer plant capital improvement account; or (3) a city enhancement (“streetscaping”) account. This payment shall be paid at the time of approval of the final plat of the subdivision by the City Council. If the payment is not made to the city at such time, the Mayor shall not sign the final plat for recording purposes.

Section 4. All conditions imposed as a part of any planned development shall run with the land and shall not lapse or be waived as a result of a subsequent change in ownership of any or all of the area.

Section 5. Approval of the preliminary development plan by the City Council is merely an authorization to proceed with the preparation of the final development plan.

Approval of the preliminary development plan shall be valid for a period of two years from the date of City Council approval. If an application for final plan approval for all or a geographic portion of the preliminary plan has not been filed within the two year period, then a resubmission of the preliminary development plan shall be required if the applicant intends to pursue final plan approval.

The City Council, upon recommendation from the Planning Commission, may grant up to a one-year extension, from the date that the period of validity expired. The City Council may reject such resubmission of the same development plan in light of new facts and circumstances relating to the development plan.


In no case shall a building permit be issued prior to final development plan approval.


At such time the period of validity has expired, the resolution approving preliminary development plan shall become null and void. In the event that the development plan involved rezoning all or a portion of the property comprising the development, the City Council may initiate proceedings to rezone the property to its original or other appropriate zoning district, in accordance with the procedures and requirements of the Zoning Code.

Section 6. The City Clerk shall file with the Madison County, Illinois Recorder of Deeds a copy of this Resolution and the preliminary development plan as attached hereto.

Section 7. This Resolution shall be in full force and effect after its passage and approval as provided by law.

Dated this 18<sup>th</sup> day of March, 2019.

By   
Allen P. Adomite, Mayor

Attest   
Heather Klueter, Deputy Clerk

Building & Zoning Department

**PASSED** by the City Council of the City of Troy, Madison County, Illinois, approved by the Mayor, and deposited in the office of the City Clerk.

Those voting aye: Henderson, Italiano, Jackson, Levo, Partney, Thompson, Turner and Zarzecki.

Those voting nay: \_\_\_\_\_

Those absent: \_\_\_\_\_

RECOMMENDATION NO. 2019 ~ 02PC

Of the Planning Commission of the City of Troy, Illinois
Regarding the Review of a Preliminary Development Plan
(i.e. Serenade PD-R)

Name of Subdivision: Serenade

Subdivider/Developer: Merrill Ottwein

Address/Location of Property: 25+ acres on Dorothy Drive

The Planning Commission met on February 28, 2019 to consider the above referenced preliminary development plan (See Addendum 1). Copies of the supporting documents are incorporated by reference.

This application applies to property commonly known as Serenade with parcel IDs 09-1-22-08-00-000-009; See Preliminary Plat Checklist

The Planning Commission has reviewed the preliminary development plan for compliance with the provisions of Chapter 153 Subdivision Code and Chapter 154 Zoning Code and voted as recorded below:

Burnett Y
Delgado Y
Hellrung Y
Johnson Y
Lawrenz Y

McConnell Y
Nehrt Absent
Niermann Y
Reiter Y

Total:
8 Yeas
0 Nays

The preliminary development plan and associated rezoning:

[X] Is approved with the following stipulations, if noted:

[ ] Is Not approved

If the preliminary development plan is not approved, the Planning Commission shall furnish to the applicant, within 30 days of the date of filing, a written statement specifying the aspects in which the proposed plan fails to conform to the Subdivision Code, Zoning Code and/or the Official Map.

All conditions imposed as a part of any planned development shall run with the land and shall not lapse or be waived as a result of a subsequent change in ownership of any or all of the area. Copies of this recommendation are presented to the City Council; the original shall be filed with the Code Administrator.


Dated this 28th day of February, 2019.

Attest: [Signature]
Secretary, Planning Commission

By: [Signature]
Chairman, Planning Commission

# PRELIMINARY PLAT OF SERENADE PLANNED DEVELOPMENT - RESIDENTIAL

BEING PART OF "THE GREENS OF TROY" IN PART OF THE EAST HALF OF SECTION 8 &  
TOWNSHIP 3 NORTH, RANGE 7 WEST OF THE THIRD PRINCIPAL MERIDIAN,  
MADISON COUNTY, ILLINOIS



**CONSULTING ENGINEERING  
GEOSPATIAL SERVICES**

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INDIANVILLE  
FLORIDA

MISSOURI ST. CHARLES  
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**THOUVENOT, WADE  
& MOERCHEN, INC.**

SWANSEA OFFICE  
4940 OLD COLLINSVILLE ROAD  
SWANSEA, ILLINOIS 62226  
(618) 624-4488  
WWW.TWMINC.COM

SEAL

SCALE: 1/8" = 1'-0"

DATE: 02/28/2019

PROJECT: SERENADE PLANNED DEVELOPMENT - RESIDENTIAL

SIGNATURE: \_\_\_\_\_

DATE SIGNED: \_\_\_\_\_

LICENSE EXPIRATION: \_\_\_\_\_

REV	DATE	DESCRIPTION
1		
2		
3		

DRAWN BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

PROJECT NO.: D01140072A

PROJECT: SERENADE  
CITY OF TROY  
MADISON COUNTY  
ILLINOIS

TITLE: COVER SHEET  
PLANNED DEVELOPMENT  
RESIDENTIAL

1 OF 8

ZONING DISTRICT CLASSIFICATION: PLANNED DEVELOPMENT - RESIDENTIAL  
DISTRICT AREA OF SUBDIVISION: 2.33 ACRES  
NET AREA OF SUBDIVISION: 23.14 ACRES

TYPICAL ROOMS OF 10'-0" x 10'-0" - 45' 0" O.C. 57' 0" O.C.

SCHOOL DISTRICTS: DISTRICT # 1740

**PROJECT NOTES / SPECIFICATIONS / INFORMATION**

THE TYPE, SIZE, AND LOCATION OF UTILITIES AS DEPICTED IN THESE DRAWINGS AND SURVEY DOCUMENTS AND/OR CITY ENGINEERING DESIGN DOCUMENTS HAVE BEEN OBTAINED BY MEANS OF AVAILABLE RECORDS AND FIELD SURVEY. THE OWNER AND ENGINEER HAVE NOT UNDERTAKEN NECESSARY EXPLORATION INVESTIGATIONS TO CONFIRM OR VERIFY THE ACCURACY OF THE INFORMATION OBTAINED. LOCATION, SIZE AND FUNCTION MUST BE CONFIRMED BY THE CONTRACTOR AND MUST BE FIELD CORRECTED BY THE CONTRACTOR.

THE DESIGNER AND OWNER DEEMED DO NOT WARRANT THAT ALL UTILITIES HAVE BEEN ILLUSTRATED ON THESE DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONDUCTING A UTILITY FIELD SURVEY OF ALL UTILITIES ON THE PROJECT SITE AND NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PERFORMANCE OF THE PROJECT. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE DESIGNER FOR CLARIFICATION AND PROJECT CORRECTION.

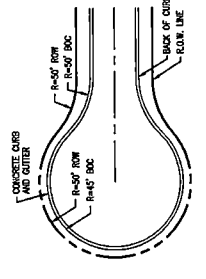
IT IS NOT INTENDED THAT THIS PLAT BE USED FOR ANY PURPOSES OTHER THAN THE SPECIFIC PURPOSES SET FORTH HEREIN. A TITLE OPINION OR COMMENT FOR TITLE INSURANCE SHOULD BE OBTAINED AND THOROUGHLY REVIEWED. THE DESIGNER AND OWNER MAKE NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, REGARDING THE ACCURACY OF THE INFORMATION, A TITLE OPINION OR COMMENT FOR TITLE INSURANCE SHOULD BE OBTAINED AND THOROUGHLY REVIEWED.

THE MINIMUM FLOOR ELEVATION OF EACH BUILDING SHALL BE TWO (2) FEET ABOVE THE STREET CENTERLINE ELEVATION. THIS ELEVATION SHALL BE INDICATED AT THE CORNER OF LOT FRONTAGE AND FOR CORNER LOTS, THE HIGHEST CORNER ELEVATION SHALL BE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PERFORMANCE OF THE PROJECT. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE DESIGNER FOR CLARIFICATION AND PROJECT CORRECTION.

THE MINIMUM FLOOR ELEVATION OF EACH BUILDING OR STRUCTURE LOCATED ADJACENT TO OR IN THE VICINITY OF A STREET SHALL BE AS APPROVED BY THE CITY OF TROY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PERFORMANCE OF THE PROJECT. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE DESIGNER FOR CLARIFICATION AND PROJECT CORRECTION.

ALL UTILITIES SHOWN ARE PRELIMINARY. FINAL SIZES SHALL BE SHOWN IN THE IMPROVEMENT PLAN SUBMITTAL TO THE CITY OF TROY.

ALL DIMENSIONS SHOWN HEREON ARE APPROXIMATE AND ARE SUBJECT TO CHANGE UPON FINAL PLATING. DIMENSIONS ACCORDING TO IMPROVEMENT SCHEDULES, LANDSCAPING AND DETENTION FACILITIES.



TYPICAL CUL-DE-SAC

ALL SANITARY SEWER LINES SHALL BE 8" PVC.

ALL WATERMANS SHALL BE 12" TO 4" PER THE MUNICIPAL CODE. 8" WATERMANS SHALL BE INSTALLED AT 20' SPACING.

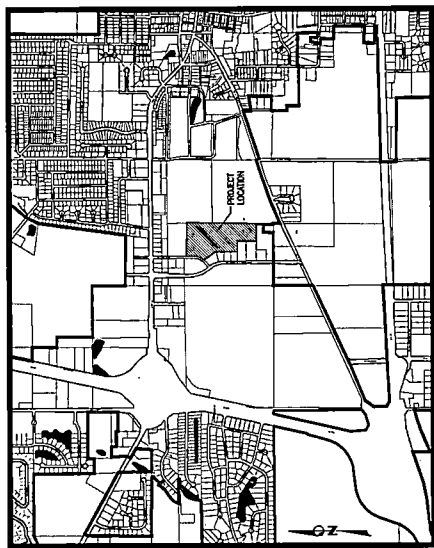
ALL OTHER SEWERS SHALL BE 8" OR 6" CDS PLACED IN SIZE FROM 15' TO 30'.

DESIGNER: THOUVENOT, WADE & MOERCHEN, INC.  
4940 OLD COLLINSVILLE ROAD  
SWANSEA, ILLINOIS 62226  
PHONE: (618) 624-4488

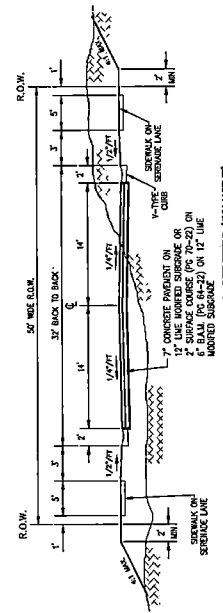
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CHECKED BY: \_\_\_\_\_

PROJECT NO.: D01140072A



LOCATION MAP



TYPICAL RESIDENTIAL STREETS (50' WIDE)

CURVE #	CHORD BEARING	CHORD BEARING (°)	ARC LENGTH (°)	RADIUS (°)	TANGENT (°)	DATA
C1	N81°15'17"	32.28	32.41	170.00	16.25	10°52'31"
C2	S52°52'30"	32.28	32.41	26.00	24.88	89°40'29"
C3	S26°46'57"	122.86	123.38	430.00	62.12	16°25'25"
C4	N172°01'17"	168.80	168.87	378.00	67.26	37°18'35"
C5	N62°26'17"	80.26	81.25	325.00	43.83	1°05'10"
C6	N272°52'57"	78.58	73.74	324.00	37.03	130°00'00"
C7	N172°01'17"	30.67	71.54	150.00	36.38	27°14'55"
C8	N32°43'58"	30.67	30.59	335.00	15.30	52°32'29"
C9	S34°19'55"	45.04	46.72	50.00	26.22	33°21'11"
C10	S57°45'59"	39.25	39.66	150.00	19.85	150°00'00"
C11	S87°07'09"	29.28	29.71	50.00	15.31	34°02'46"
C12	S152°54'51"	142.82	144.47	275.00	74.94	30°06'02"
C13	S40°11'37"	51.05	51.30	150.00	25.90	16°35'51"
C14	N63°47'54"	24.59	24.65	50.00	12.69	28°28'33"
C15	N63°47'54"	37.20	38.44	50.00	26.22	44°02'46"
C16	S57°21'04"	103.22	103.48	471.53	52.00	1°03'55"
C17	S37°21'04"	47.38	53.49	26.00	21.48	81°20'05"
C18	S39°14'08"	47.38	49.35	50.00	26.50	56°33'57"
C19	S41°12'48"	15.99	16.05	50.00	5.10	18°23'56"
C20	S41°12'48"	58.78	62.83	50.00	34.33	78°00'00"
C21	S57°46'13"	38.53	38.32	50.00	19.00	41°37'41"
C22	S57°46'13"	31.98	31.99	335.00	21.00	87°26'59"
C23	N52°27'07"	32.75	34.42	50.00	21.05	48°32'12"
C24	N52°27'07"	38.79	39.84	50.00	21.05	48°32'12"
C25	S57°20'51"	41.28	41.29	471.53	26.68	50°10'11"
C26	S39°14'08"	102.88	103.11	325.00	51.99	16°10'42"
C27	S39°14'08"	32.28	33.84	26.00	21.78	82°05'50"
C28	N57°13'03"	78.88	80.69	471.53	40.14	84°55'11"
C29	S57°20'51"	40.66	41.13	275.00	24.63	10°14'10"
C30	S57°20'51"	35.36	37.27	26.00	25.00	50°00'00"
C31	N57°20'51"	124.53	124.59	275.00	63.39	25°57'32"
C32	N57°20'51"	52.37	55.12	50.00	30.74	83°03'37"
C33	N57°20'51"	35.36	38.14	50.00	18.90	41°24'35"
C34	N57°20'51"	46.46	48.68	50.00	25.59	58°20'28"
C35	N57°20'51"	46.46	48.31	50.00	25.23	52°11'59"
C36	S57°43'02"	41.82	42.81	50.00	22.82	49°03'29"
C37	N57°43'02"	35.36	38.14	50.00	18.90	41°24'35"
C38	N57°43'02"	33.57	34.53	50.00	17.62	38°15'45"
C39	N57°43'02"	22.80	22.80	325.00	11.61	40°13'15"
C40	N57°43'02"	122.70	123.44	325.00	62.47	21°45'41"
C41	N57°43'02"	55.50	55.57	325.00	27.85	9°47'45"
C42	N57°43'02"	33.56	35.00	325.00	17.75	03°30'02"
C43	N57°43'02"	43.84	44.86	430.00	21.76	53°04'14"
C44	S30°44'13"	31.79	34.45	26.00	25.59	78°57'35"
C45	S55°46'18"	118.88	120.52	299.00	61.99	33°02'21"
C46	S32°25'57"	34.41	37.87	25.00	24.45	86°20'39"
C47	N55°46'18"	139.24	142.21	200.00	74.28	44°44'28"
C48	N22°22'28"	131.52	133.25	300.00	70.53	28°27'44"
C49	N22°22'28"	42.26	44.33	300.00	23.31	8°50'52"
C50	S72°29'24"	108.38	108.38	300.00	58.04	38°11'42"
C51	S72°29'24"	133.89	133.89	446.53	67.45	17°10'48"
C52	S152°54'51"	102.86	102.83	300.00	58.43	58°19'31"



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**THOUVENOT, WADE  
& MOERCHEN, INC.**

SWANSEA OFFICE  
4940 OLD COLLINSVILLE ROAD  
SWANSEA, ILLINOIS  
62226  
(918) 624-4468  
WWW.TWM-INC.COM

PROF. LICENSE NUMBER  
L.E. PROF. ENGR. CORP. 62-033710  
L.E. PROF. STR. ENGR. CORP. 81-030202  
L.E. PROF. LAND SURV. CORP. 04-000028  
MO. LAND SURVEYING CORP. 00344  
TN. PROF. ENGR. PERM 8974

SEAL

SIGNATURE:  
DATE SIGNED:  
LICENSE EXPIRATION:

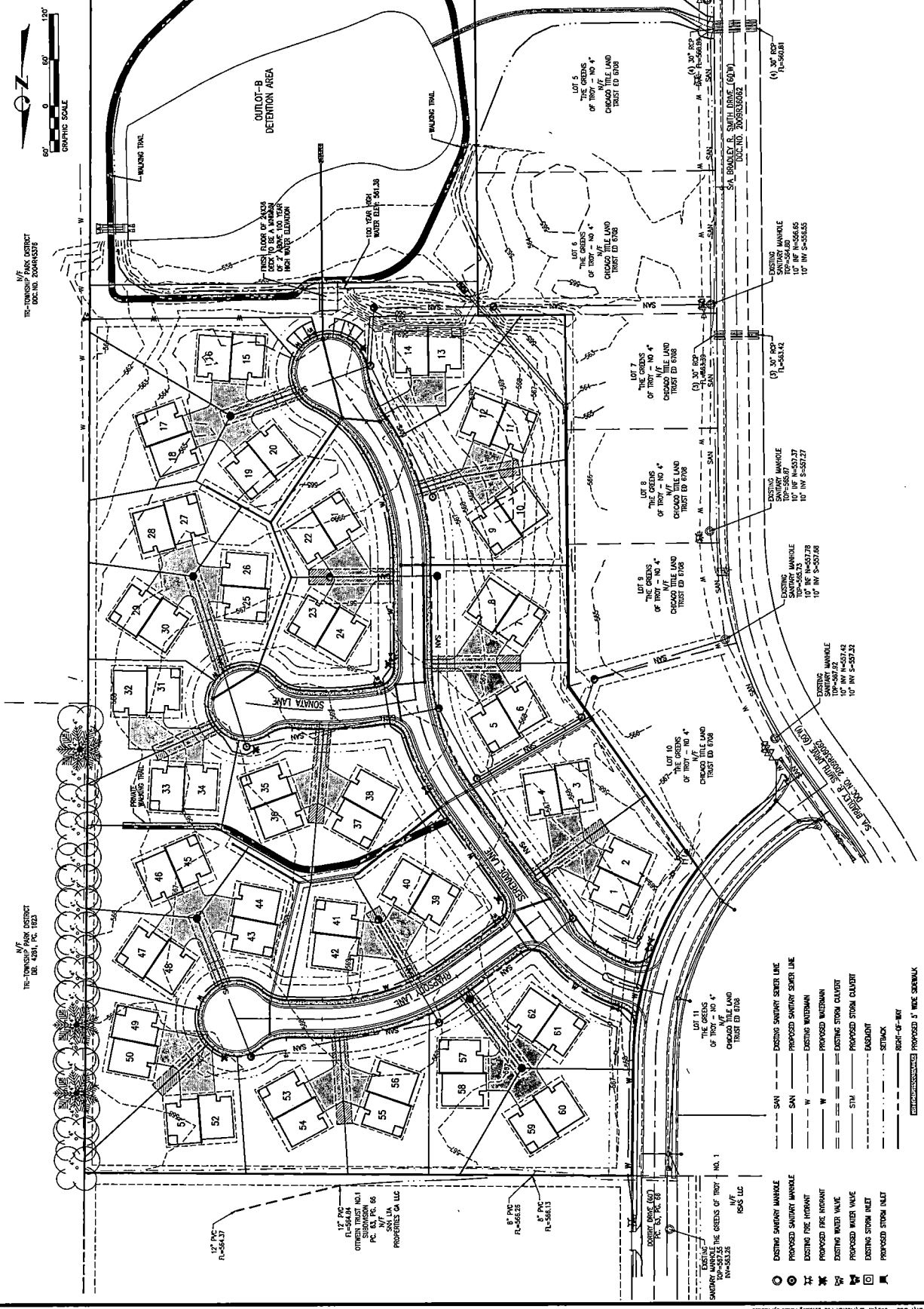
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DESIGNED BY:  
CHECKED BY:  
DATE:  
PROJECT NO.: D01140722A

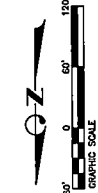
PROJECT:  
SERGRADE  
CITY OF TROY  
MADISON COUNTY  
ILLINOIS

TITLE:  
WATER AND SEWER  
MAIN OVERLAY  
PLANNED DEVELOPMENT  
RESIDENTIAL

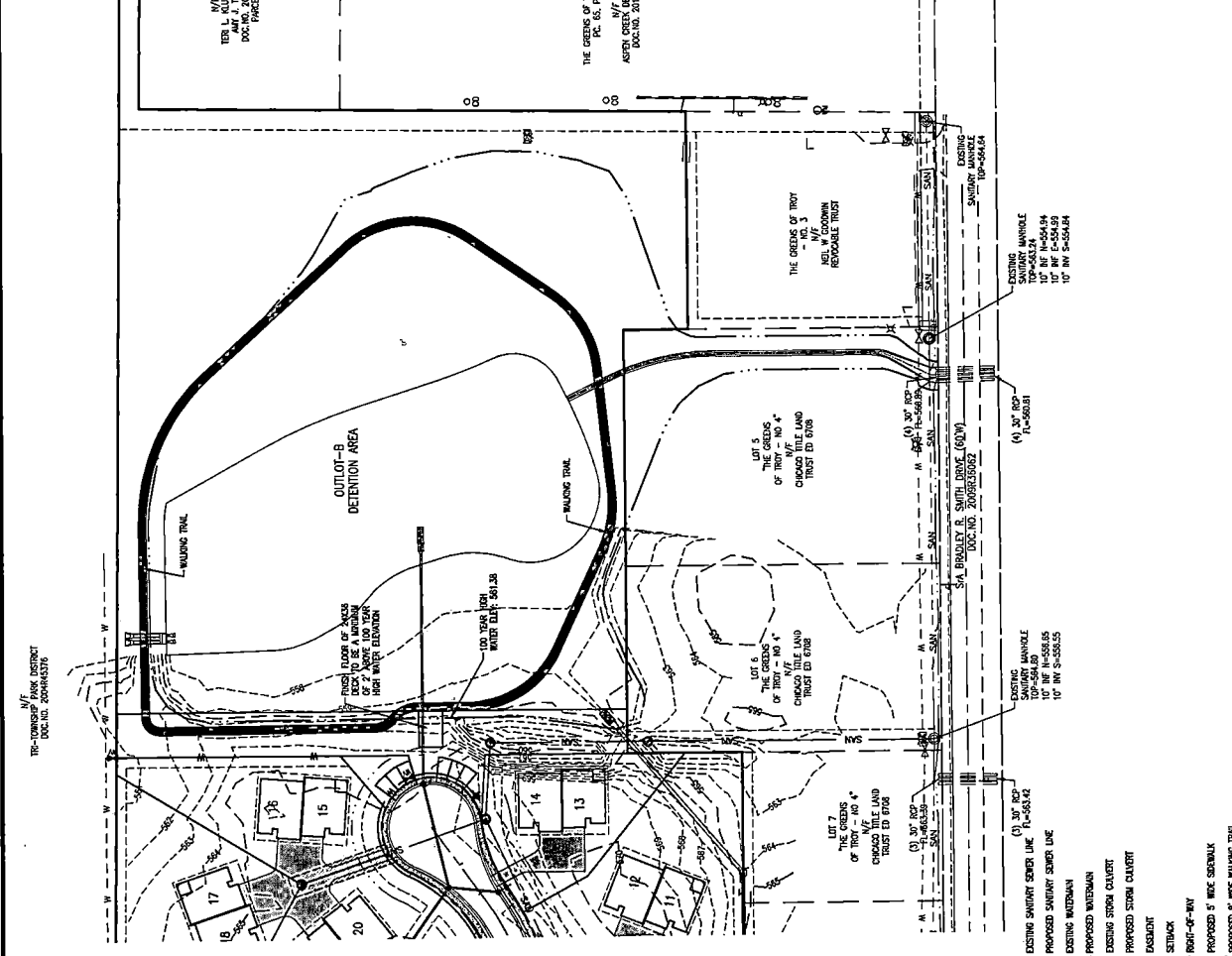
2 OF 8







TWP-10NSHIP 65th DISTRICT  
 DOC. NO. 200945376



SEAL

SIGNATURE:  
 DATE SIGNED:  
 LICENSE EXPIRATION:

REV.	DATE	DESCRIPTION
△		
△		
△		

DRAWN BY: LEM  
 DESIGNED BY: LEM  
 CHECKED BY: LEM  
 PROJECT NO.: D0114072A

PROJECT: SERENADE CITY OF TROY MADISON COUNTY ILLINOIS

TITLE: WATER AND SEWER MAIN OVERLAY PLANNED DEVELOPMENT RESIDENTIAL

3 OF 8

LEGEND

- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING STORM INLET
- PROPOSED STORM INLET
- SAN
- W
- STM
- F
- EXISTING WATERMAN
- EXISTING STORM CULVERT
- PROPOSED STORM CULVERT
- FOGSIGHT
- SETBACK
- FRONT-OF-WAY
- EXISTING WATERMAIN
- PROPOSED WATERMAIN
- EXISTING STORM CULVERT
- PROPOSED STORM CULVERT
- FOGSIGHT
- SETBACK
- FRONT-OF-WAY
- EXISTING WATERMAN
- PROPOSED WATERMAN
- EXISTING STORM CULVERT
- PROPOSED STORM CULVERT
- FOGSIGHT
- SETBACK
- FRONT-OF-WAY

CONTRACT NUMBER: 2019R13810

DATE: 10/20/2019

SCALE: AS SHOWN

PROJECT: SERENADE CITY OF TROY MADISON COUNTY ILLINOIS

TITLE: WATER AND SEWER MAIN OVERLAY PLANNED DEVELOPMENT RESIDENTIAL

3 OF 8

LEGEND

CONTRACT NUMBER: 2019R13810

DATE: 10/20/2019

SCALE: AS SHOWN

PROJECT: SERENADE CITY OF TROY MADISON COUNTY ILLINOIS

TITLE: WATER AND SEWER MAIN OVERLAY PLANNED DEVELOPMENT RESIDENTIAL

3 OF 8

LEGEND

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DATE: 10/20/2019

SCALE: AS SHOWN

PROJECT: SERENADE CITY OF TROY MADISON COUNTY ILLINOIS

TITLE: WATER AND SEWER MAIN OVERLAY PLANNED DEVELOPMENT RESIDENTIAL

3 OF 8

LEGEND

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TITLE: WATER AND SEWER MAIN OVERLAY PLANNED DEVELOPMENT RESIDENTIAL

3 OF 8

LEGEND

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TITLE: WATER AND SEWER MAIN OVERLAY PLANNED DEVELOPMENT RESIDENTIAL

3 OF 8

LEGEND

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3 OF 8

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TITLE: WATER AND SEWER MAIN OVERLAY PLANNED DEVELOPMENT RESIDENTIAL

3 OF 8



ILLINOIS SWANSEA WATERLOO BEADSVILLE PEORIA  
MISSOURI ST. CHARLES ST. LOUIS  
TENNESSEE NASHVILLE

**TROUVENOT, WADE & MOERCHEN, INC.**  
SWANSEA OFFICE  
4940 OLD COLLINSVILLE ROAD  
SWANSEA, ILLINOIS 62226  
(618) 624-4488  
WWW.TWM-INC.COM

PROF. LICENSES  
NAMES  
NUMBERS  
ILL. PROJ. ENGR. CIVIL  
IL. PROF. ENGR. CIVIL  
MO. PROJ. ENGR. CIVIL  
MO. LAND SURVEYOR  
TN. PROJ. ENGR. CIVIL  
SEAL

SIGNATURE:  
DATE SIGNED:  
LICENSE EXPIRATION:

REV	DATE	DESCRIPTION

DRAWN BY:  
DESIGNED BY:  
CHECKED BY:  
PROJECT NO.:

LEW  
LEWNTS  
NLS  
NLS  
D01160072A  
PROJECT NO.:

PROJECT:  
SERENADE  
CITY OF TROY  
MADISON COUNTY  
ILLINOIS

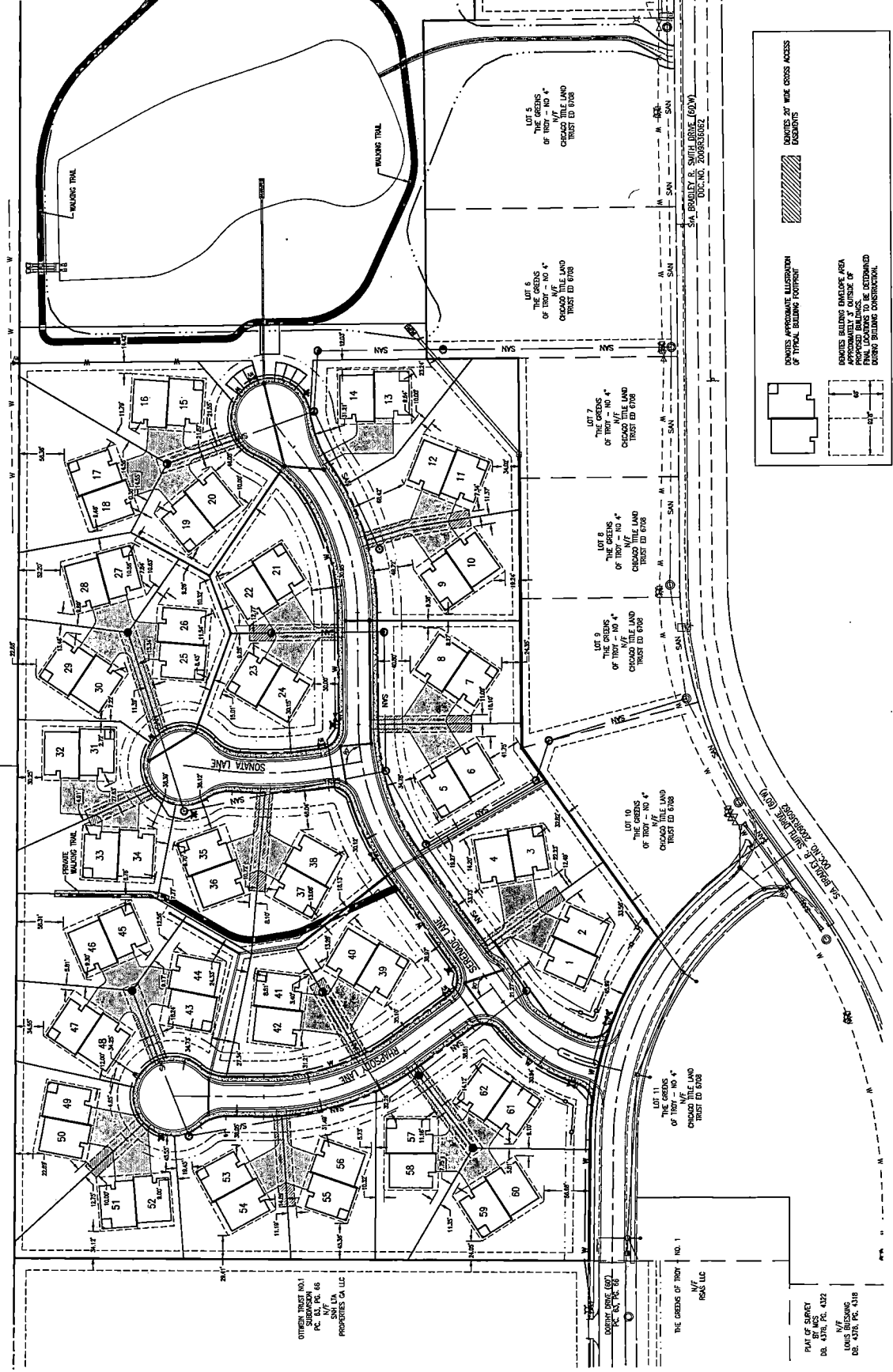
TITLE:  
SERENADE L1045P  
PLANNED DEVELOPMENT  
RESIDENTIAL

4 OF 8



1/4" = 100'  
TROY-TOWNSHIP PARK DISTRICT  
DOC. NO. 2004R-43376

1/4" = 100'  
TROY-TOWNSHIP PARK DISTRICT  
DB. 4281, PC. 1023



INDICATES APPROXIMATE ILLUSTRATION OF TYPICAL BUILDING FOOTPRINT

INDICATES 20' WIDE CROSS ACCESS EASEMENTS

INDICATES BUILDING ENVELOPE AREA APPROXIMATELY ± OUTSIDE OF SUBDIVISION. FINAL LOCATIONS TO BE DETERMINED DURING BUILDING CONSTRUCTION.

OTTOBER TRACT NO. 1  
SERENADE  
PC. 41, PG. 66  
SNI L1A  
PROPERTIES CA LLC

THE CREEDS OF TROY NO. 1  
N/E  
R&S LLC

PLAT OF SUBDIVISION  
BY M&S  
DB. 4376, PC. 4322  
N/E  
R&S LLC  
DB. 4376, PC. 6318

**TWM**  
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GEOSPATIAL SERVICES

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TENNESSEE | NASHVILLE

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SWANSEA, ILLINOIS  
62226  
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PROF. LICENSE NUMBER  
I. PROF. SURV. 02-000000  
I.L. PROF. SURV. 02-000000  
M. LAND SURV. 02-000000  
T.N. PROF. ENGR. 02-000000

SEAL

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DATE SIGNED:  
LICENSE EXPIRATION:

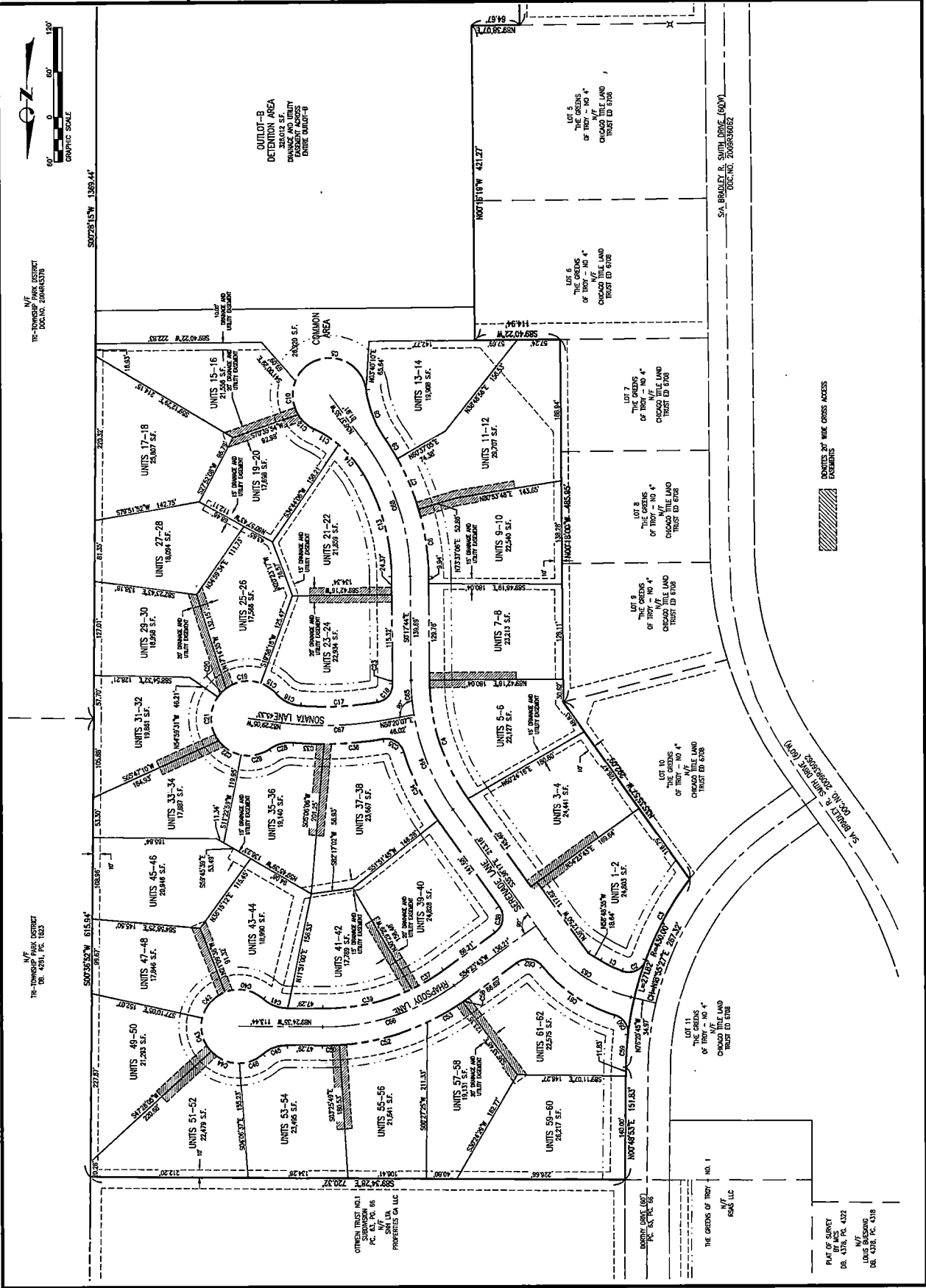
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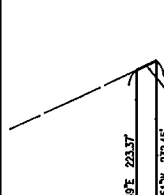
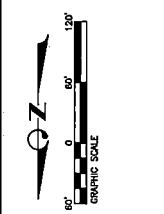
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LEIN  
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PROJECT:  
SERENADE  
CITY OF TROY  
MADISON COUNTY  
ILLINOIS

TITLE:  
LOT DIMENSIONS  
PLANNING PERMIT  
RESIDENTIAL

5 OF 8





ILLINOIS SWANSEA WATERLOO EDWARDSVILLE PEORIA  
MISSOURI ST. CHARLES ST. LOUIS  
TENNESSEE NASHVILLE

**THOUVENOT, WADE & MOERCHEN, INC.**

SWANSEA OFFICE  
1640 OLD COLLINGSVILLE ROAD  
SWANSEA, ILLINOIS 62226  
(618) 654-4488  
WWW.TWM-INC.COM

**PROF. LICENSE NUMBER**  
L. PROF. LAND SURV. 02400055  
L. PROF. SURV. 02400055  
L. PROF. STR. ENGR. CORP. 81-002202  
L. PROF. LAND SURV. CORP. 048-00922  
L. PROF. SURV. 02400055  
L. PROF. SURV. 02400055  
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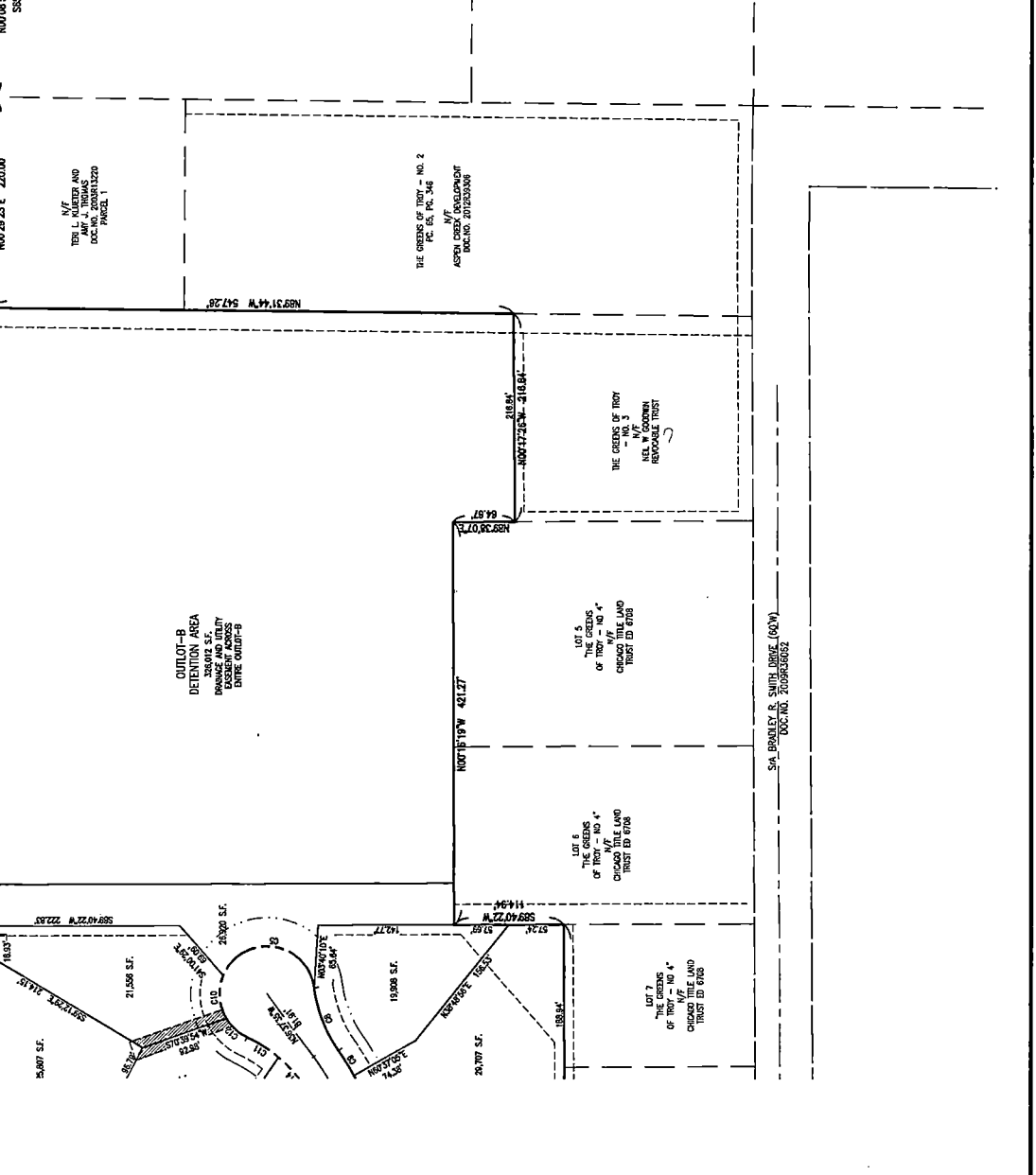
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**DESIGNED BY:** LEWNTS  
**CHECKED BY:** NTS  
**APPROVED BY:** NTS  
**PROJECT NO.:** D0116021A

**PROJECT:**  
SEWANEE  
CITY OF TROY  
MAISON COUNTY  
ILLINOIS

**TITLE:**  
LOT DIMENSIONS  
REPLACEMENT  
RESIDENTIAL

**6 OF 8**

N/T  
THE TOWNSHIP PARK DISTRICT  
DOC. NO. 2024045376



N/T  
THE TOWNSHIP PARK DISTRICT  
DOC. NO. 2024045376

N/T  
THE GREENS OF TROY - NO. 2  
PC. 55, PR. 346  
DOC. NO. 201220208

N/T  
THE GREENS OF TROY  
- N/T 3  
NEL W. GOUDIN  
RESCUE TRUST

LOT 6  
THE GREENS  
OF TROY - NO. 4  
CHICAGO TITLE LAND  
TRUST ED 6708

LOT 7  
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OUTLOT-B  
DETENTION AREA  
23,912 S.F.  
PARKING AND UTILITY  
DRIVE OUTLET-B

SA. BRADLEY R. SMITH TRUST (60%)  
DOC. NO. 2024045372



**TWM**  
 CONSULTING ENGINEERING  
 GEOSPATIAL SERVICES

ILLINOIS  
 SWANSEA  
 WATERLOO  
 EDWARDSVILLE  
 PEORIA

MISSOURI | ST. CHARLES  
 ST. LOUIS

TENNESSEE | NASHVILLE

**THOUVENOT, WADE  
 & MOERCHEN, INC.**

SWANSEA OFFICE  
 4940 OLD COLLINSVILLE ROAD  
 SWANSEA, ILLINOIS  
 62226  
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 WWW.TWM-INC.COM

PROF. LICENSE NUMBER  
 IL. PROF. DESIGN FROM 184-001220  
 IL. PROF. LAND SURV. FROM 184-001220  
 IL. PROF. STA. ENGR. CORP. 04-000250  
 IL. PROF. LAND SURV. CORP. 04-000250  
 ILL. PROF. ENGR. CORP. 04-000250  
 ILL. PROF. ENGR. CORP. 04-000250  
 TN. PROF. ENGR. PLAN 04-000250

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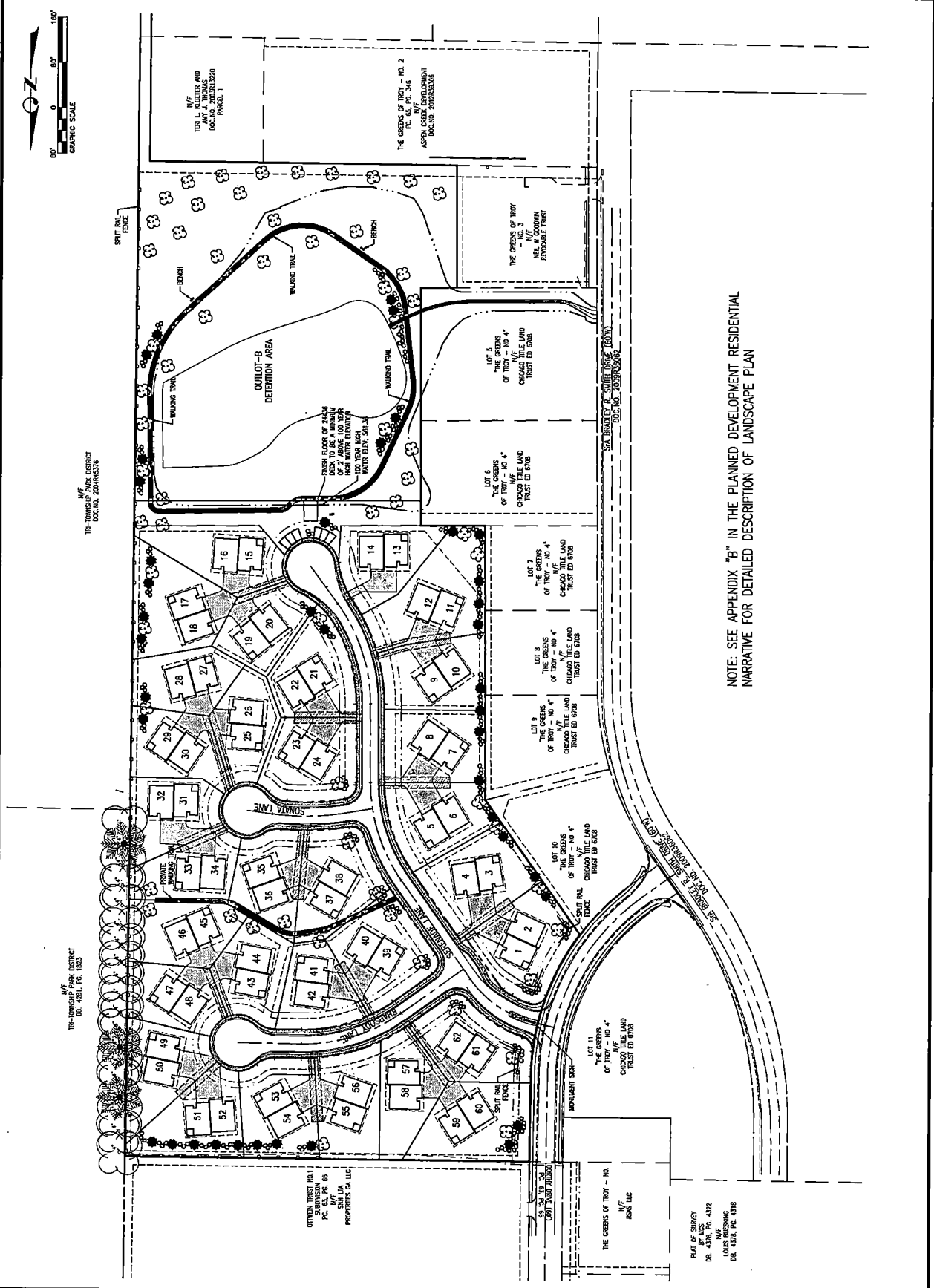
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LEIN  
 LEM  
 NTS  
 NTS  
 PROJECT NO.: D01140072A

PROJECT:  
 SERENADE  
 OF THE  
 MADISON COUNTY  
 ILLINOIS

TITLE:  
 GREEN SPACE OVERLAY  
 PLANNED DEVELOPMENT  
 RESIDENTIAL

**7 OF 8**



NOTE: SEE APPENDIX "B" IN THE PLANNED DEVELOPMENT RESIDENTIAL NARRATIVE FOR DETAILED DESCRIPTION OF LANDSCAPE PLAN



ILLINOIS  
SWANSEA O EDWARDSVILLE PEORIA  
MISSOURI ST. CHARLES ST. LOUIS  
TENNESSEE NASHVILLE

**THOUVENOT, WADE & MOERCHEN, INC.**  
SWANSEA OFFICE  
4940 OLD COLLINSVILLE ROAD  
SWANSEA, ILLINOIS  
62279-5448  
WWW.TWM-INC.COM

PROF. LICENSE NUMBER  
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I.L. PROF. ENGR. COMP. 04-00209  
I.L. PROF. LAND SURV. COMP. 04-00209  
I.L. PROF. ENGR. COMP. 04-00209  
I.L. LAND SURVEYING COMP. 030344  
I.L. PROF. ENGR. FRM 0374

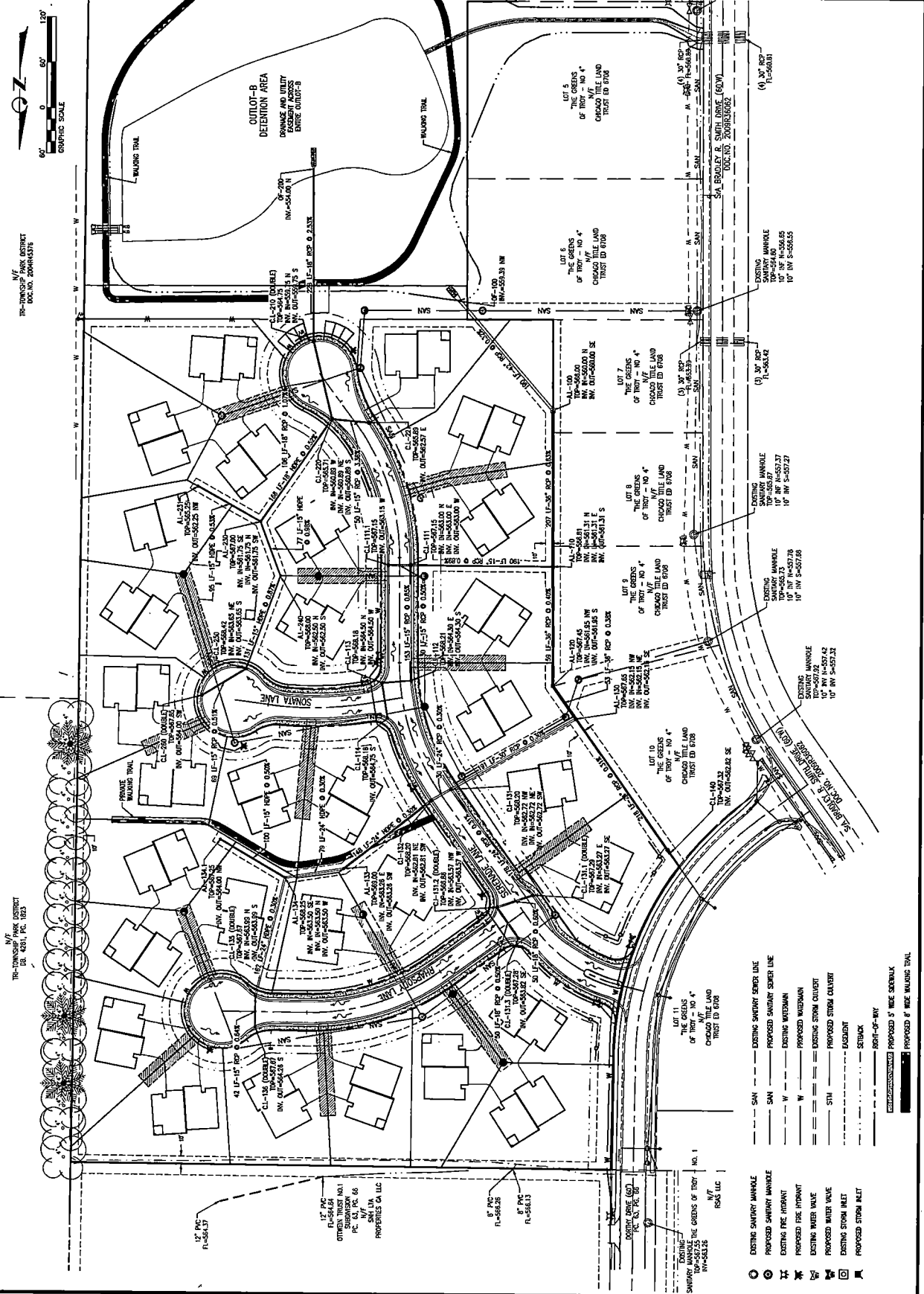
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LEAD: \_\_\_\_\_  
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PROJECT NO.: D01140972A

PROJECT:  
SERENADE  
OF THE  
MADISON COUNTY  
ILLINOIS

TITLE:  
DRAINAGE AND ROADS OVERLAY  
PLANNED DEVELOPMENT  
RESIDENTIAL



N/T  
TR-TOWNSHIP PARK DISTRICT  
DOC. NO. 200R14378

N/T  
TR-TOWNSHIP PARK DISTRICT  
SER. 4261, PAR. 1213

- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING STORM INLET
- PROPOSED STORM INLET
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING FIRE MAIN
- PROPOSED FIRE MAIN
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING RIGHT-OF-WAY
- PROPOSED RIGHT-OF-WAY
- EXISTING WALKING TRAIL
- PROPOSED WALKING TRAIL

**PLANNED DEVELOPMENT  
RESIDENTIAL NARRATIVE**

**SERENADE**

**LOCATED IN THE  
CITY OF TROY  
MADISON COUNTY, ILLINOIS**

Prepared By:  
Thouvenot, Wade and Moerchen, Inc.  
4940 Old Collinsville Road  
Swansea, Illinois 62226  
(618) 624-4488  
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Issued:  
February 2019

# PLANNED DEVELOPMENT-RESIDENTIAL NARRATIVE

## **SERENADE** *Troy, Illinois*

### **Table of Contents**

	<i>Page</i>
Narrative	1-3
<i>Appendix A: Density and Lot Coverage</i>	
<i>Appendix B: Landscape Plan Narrative</i>	
<i>Appendix C: Management Plan for Outlots</i>	
<i>Appendix D: Management Plan for Common Driveways</i>	
<i>Appendix E: Floor Plans/Elevation</i>	



# **Serenade Planned Development-Residential Narrative**

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## **Project Location**

The proposed Serenade Planned Development is to be constructed on a 25.7 acre parcel of property, initially shown as out lot B and the proposed Detention and Greenspace Area on the "Greens of Troy" preliminary plat created by Madison County Surveyors, located within Troy, Illinois. The property is directly west of the Tri-Township Park and will be accessed from Dorothy Drive. The congressional township description for the property is Sections 8 of Township 3 North, Range 7 East of the Third Principal Meridian in Madison County, Illinois. The general latitude and longitude of the site is 38° 43' 45" North and 89° 54' 05" South.

## **Existing and Adjacent Land Use Conditions**

The project site has historically been utilized as farm ground and is currently zoned as R-1. An assisted living center is located directly to the north of the project and is zoned as a Planned Development. To the west of the property there are empty commercial lots and one developed commercial lot owned by Neil and Julia Goodwin. All lots to the west of the proposed development are zoned General Commercial. The entire east property line is border by the Tri-Township Park, which is zoned agricultural. There are two properties bordering the south property line: Aspen Creek Development and a vacant residential lot owned by Teri and Amy Klueter. These lots are zoned General Commercial and Residential respectively.

## **Proposed Planned Development**

The Planned Development, Serenade, will be developed on a 25.7-acre tract that will initially be divided into a commons area, one out lot, right-of-way and 31 residential lots. Each residential lot will consist of a single building containing two dwelling units. The buildings will be arranged in three separate manners, independent, a double grouping and a triple grouping. Of the thirty lots, 12 will be in a triple grouping, 18 will be in a double grouping and one will be independent. Each lot will then have access from the road through a shared access easement. (See Appendix D for additional details regarding the Easement Agreements.) As the buildings are constructed the developer will then split the lots into an "A" and a "B" so each dwelling unit is on its own lot. Based on the required density calculations, the underlying zoning of R-1 would allow for 83 dwelling units within the proposed development. The planned development proposes 62 residential buildings, as well as a pavilion and a 1.8-acre lake. (See Appendix A for density calculations and lot coverages). This is an increase of two units from the original PDR approved in 2015. Currently the developer envisions a two-phase development. Phase 1 of the project would include the infrastructure for 38 units. Phase 2 would comprise the required infrastructure to complete the development. Landscaping will be provided throughout the phases as they are implemented. A general description of the owner's intentions can be found in Appendix B.

## **Serenade Planned Development-Residential Narrative**

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Out Lot B consists of a 1.8-acre lake located within 7.2 acres of dedicated greenspace. This area currently serves as a regional detention pond for the Greens of Troy commercial development adjacent to the planned development.

The proposed right-of-way will connect to the Dorothy Drive right-of-way. The right of way will be 50' wide along the centerline of the proposed roadways and have a 50' radius at the proposed cul-de-sacs. The total area of the proposed right-of-way is 2.24 acres.

### **Utility and Infrastructure**

The proposed sewer will be routed through an existing easement along the north property line of Lot 6 in "The Greens of Troy – No. 4" from a stub provided during the installation of the 10" sewer main along Bradley Smith Drive. Once onsite, the sewer will follow the proposed road layout to provide service for the development. Some portions of the new sewer main will be located under driveways for extended lengths. During final design, the developer will work with the City to determine a mutually acceptable agreement for maintenance of the driveways in the event the sewer would need replaced. The City of Troy will be the owner of the sewer upon acceptance.

There are existing 12" waterlines along the east and north property lines of the planned development, as well as along Bradley Smith Drive. In order to provide water to the development, a 12" main along Dorothy Drive connecting the existing waterline along Bradley Smith Drive and the existing waterline along the northern property line will be installed. An 8" line will then tie into the 12" waterline and be installed down Serenade Lane. Then 6" lines tie into the 8" line along Serenade Lane and be installed in the cul-de-sacs. The City of Troy will be the owner upon acceptance.

Other utilities such as gas, electric, phone and cable will be designed by their respective companies. Ameren IP, AT&T and Charter will provide the required services. Additional information, such as connection points and proposed routings will be available at a later date.

### **Site Access/Pedestrian Facilities**

The planned development will have a single access point off of Dorothy Drive. All streets within the development will be dedicated for public use and will be centered within the proposed right-of-way. The proposed streets will be 32' from back of curb to back of curb and be constructed of concrete or asphalt pavement.

Walkways are proposed throughout the site. All lots will have access to the walkways, but the location varies between the back lot lines, along the right-of-way and various locations within the out lots. All walkways and roadway crossings within public right-of-way will be design in accordance with all ADA regulations; however, direct connections from a residence to the walkways will not be provided.

## **Serenade Planned Development-Residential Narrative**

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### **Storm Water Retention/Detention and Storm Sewers**

Storm water detention is accommodated by a regional detention basin located within out lot B of the planned development. Since the increased runoff of the planned development has already been accounted for, information regarding the drainage analysis has not been included in this report. For additional information regarding existing and proposed watersheds and runoff values, see the Drainage Design Report for The Greens of Troy issued February 2015.

Storm sewers will be designed in accordance with Article 153.101, Stormwater Drainage and Detention, in the City of Troy's Code of Ordinances. Storm sewers that convey storm water from the roadways, and adjacent areas will be reinforced concrete pipe storm sewers connected to pre-cast reinforced concrete inlets, and junction boxes. The minimum diameter of pipe used in the development will be 15" and all pipes will be sized to effectively carry a 25-year storm.

**Appendix A**

***Density and Lot Coverage***

## Serenade - Planned Development - Residential

### Density - Dwelling Units/Acre of Site (Article 154.064, Planned Developments)

Gross Acreage	S.F./Ac.	Gross S.F.	15% of Gross	Net S.F.	Underlying R-1 (S.F./Unit)	Units Allowed
25.7	43,560	1,120,363	168,054	952,309	11,500	83

Based on the above calculations, the underlying zoning of R-1 would allow for 83 dwelling units within the proposed development. The planned development proposes 31 residential buildings, each with 2 units, as well as a clubhouse and a 1.8 acre lake.

### Proposed Lot Coverages

Lot #	Lot Size (S.F.)	Designated Building Area (S.F.)	Proposed Coverage	Allowed Coverage
1	24,803	6,302	25.4%	40.0%
2	24,441	6,302	25.8%	40.0%
3	22,127	6,302	28.5%	40.0%
4	23,213	6,302	27.1%	40.0%
5	22,540	6,302	28.0%	40.0%
6	29,707	6,302	21.2%	40.0%
7	19,908	6,302	31.7%	40.0%
8	21,556	6,302	29.2%	40.0%
9	25,807	6,302	24.4%	40.0%
10	17,698	6,302	35.6%	40.0%
11	21,859	6,302	28.8%	40.0%
12	22,934	6,302	27.5%	40.0%
13	17,566	6,302	35.9%	40.0%
14	18,094	6,302	34.8%	40.0%
15	18,998	6,302	33.2%	40.0%
16	19,861	6,302	31.7%	40.0%
17	17,887	6,302	35.2%	40.0%
18	19,140	6,302	32.9%	40.0%
19	23,667	6,302	26.6%	40.0%
20	24,828	6,302	25.4%	40.0%
21	17,789	6,302	35.4%	40.0%
22	18,990	6,302	33.2%	40.0%
23	20,946	6,302	30.1%	40.0%

24	17,846	6,302	35.3%	40.0%
25	21,293	6,302	29.6%	40.0%
26	22,479	6,302	28.0%	40.0%
27	23,495	6,302	26.8%	40.0%
28	21,641	6,302	29.1%	40.0%
29	19,131	6,302	32.9%	40.0%
30	26,217	6,302	24.0%	40.0%
31	22,575	6,302	27.9%	40.0%
Commons	26,920	864	3.2%	40.0%
Outlet B	326,012	0	0.0%	40.0%
R.O.W.	98,458	0	0.0%	40.0%

**Appendix B**

***Landscape Plan***

## General Landscaping Plan for "Serenade":



- Recently, a landscape architect has been engaged for enhancement of several features, the task unfinished; Also, many larger trees are arranged for from nearby Sunnyside Nursery, to be moved with a mechanical tree mover....but not all. A small nursery will be provided for later use, coordinated with the whole project.
- The single entry would be built around a fake stone bridge over a bit of water fed by a trickling waterfall, would carry the name of the development, and would be lighted, signed and landscaped.
- On the north and east boundaries: A 2-rail, split rail fence, (or possibly an iron fence), with one gated pedestrian opening to the adjacent park, at the end of the east west sidewalk between clusters of homes as shown. That would include the whole east side of the storm water detention basin, where there would be no pedestrian openings (so as to discourage the public users of the adjacent park from assuming the basin and lake are "public".) This fence would be to mark the boundaries of the project, and have a background for selected shrubs, (and not intended necessarily as a security fence.)
- Short lengths of the same fence would be provided in other locations, especially at the main entrance, and at the southerly cul de sac, and at several locations along front streets, and within the development as an indicator of the limits of the "privacy bubble", or between "bubbles", or as background for a landscape features.
- Clusters of spring-flowering trees, along with selected spruce and other evergreens, and shrubs with good fall color (such as Japanese Maple) are to be planted along the north border, denser on the east end so as to hide the storm water detention basin of "The Fountain" a bit.
- Along the east boundary, clusters (always) of various deciduous and evergreen shrubs would prevail, that would be small enough to "see over" into the adjacent park. Interspersed would be shade trees that could be trained to have boles which would be free of side limbs so that observers could see beneath the crowns, with smallish clusters of evergreens interspersed.
- Between the commercial lots fronting on Bradley Smith Drive, and "Serenade", clusters of several species of pine, fir and spruce trees, for a permanent, year round visual barrier, with flowering trees dotted on the outside on both sides, (so that the green is a background for their flowers.)
- At several locations, benches will be permanently installed along the walking paths as places to rest. Included there would be up to 20 large round boulders, (perhaps with a flat side as possible,) will be provided along the walking paths, especially at resting places, that would carry engraved musical (theme) adages.
- Shade trees, flowering trees and evergreens will be clumped in many locations for future shade as well as beauty, including at locations along the walking paths.
- The area reserved for the storm water retention basin will have several special landscaping features:
  - ✓ Shade trees selected for fall color will dot the landscape,
  - ✓ Clusters of spring-flowering plants will be included in front of them.
  - ✓ Clusters of spring-flowering plants will be located at the west end of the lake.
  - ✓ The shore of the south side of the lake would have cattails, other water-loving plants.
  - ✓ The north side of the lake would be kept open for the view of the lake and beyond.



**Appendix C**

***Management Plan for Outlots***

## **The Management Plan for Outlots:**

Presently, in this Preliminary Plan, the Storm Water Detention basin is viewed to occupy the bulk of Outlots. It's primary function is to provide storm water retention services to Serenade as well as surrounding commercial real estate, in perpetuity. It is recognized as completed and functional for the purpose, and being maintained by the developer. An important secondary function is to serve as "green space" for Serenade and as such, supplying open space to Serenade and surrounding real estate, along with limited recreational use.

Outlot B contains the bulk of the actual Storm Water Detention Basin, and the whole of the lake within, and could be removed from ownership here by a public facility, which would guarantee the continuance of its function as a storm water detention basin in perpetuity, but could add other compatible services, most considered recreational in nature.

In that event, outlot B would continue to be owned by the Home Owners Association as defined by the following the current managemental outline for Outlots and B and C combined in service under the following circumstance, now defined for the whole of B and C together:

Currently, Outlots B and C:

- Are recognized as the essential storm water retention basin for Serenade and surrounding commercial real estate, owned by the developer and part of this preliminary master plan.
- In that function, they are recognized as essentially complete and as being operated by the developer. It's recognized as serving all of the developer's original real estate.
- The title would remain with the developer until the homeowners Association is formed, part of the covenants developed for Serenade, when one third of the sites are sold to end users. Until then the developer will be responsible for its maintenance.
- The developer therefore will create an initial budget for the maintenance of the entire area for the Homeowners Association to initially use after their take over. That budget will allow for routine maintenance such as mowing and trimming along with estimates of unusual repair circumstances that may periodically become necessary.
- The developer will also create covenants to be used for all of the commercial area that remains sold unsold surrounding this area, that shall include terms requiring commercial owners, present and future, to respond to an annual assessment, first by the developer and later by the Serenade Homeowners Association for both the routine maintenance of the area and provisions for unusual repair circumstances.
- The tract is recognized to to have limited additional purposes and functions which shall be identified by the developer. Presently those are seen as recreational, such as adding features enhancing its pedestrian use by residents and commercial employees, and even limited use by patrons and relatives of patrons, but limiting its use and access by any others as may be deemed desired. A minor additional use considered for Outlot B is that of a vegetable-gardening area where residents might create small individual gardens for their household use.

**Appendix D**

***Management Plan for Common Driveways***

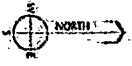
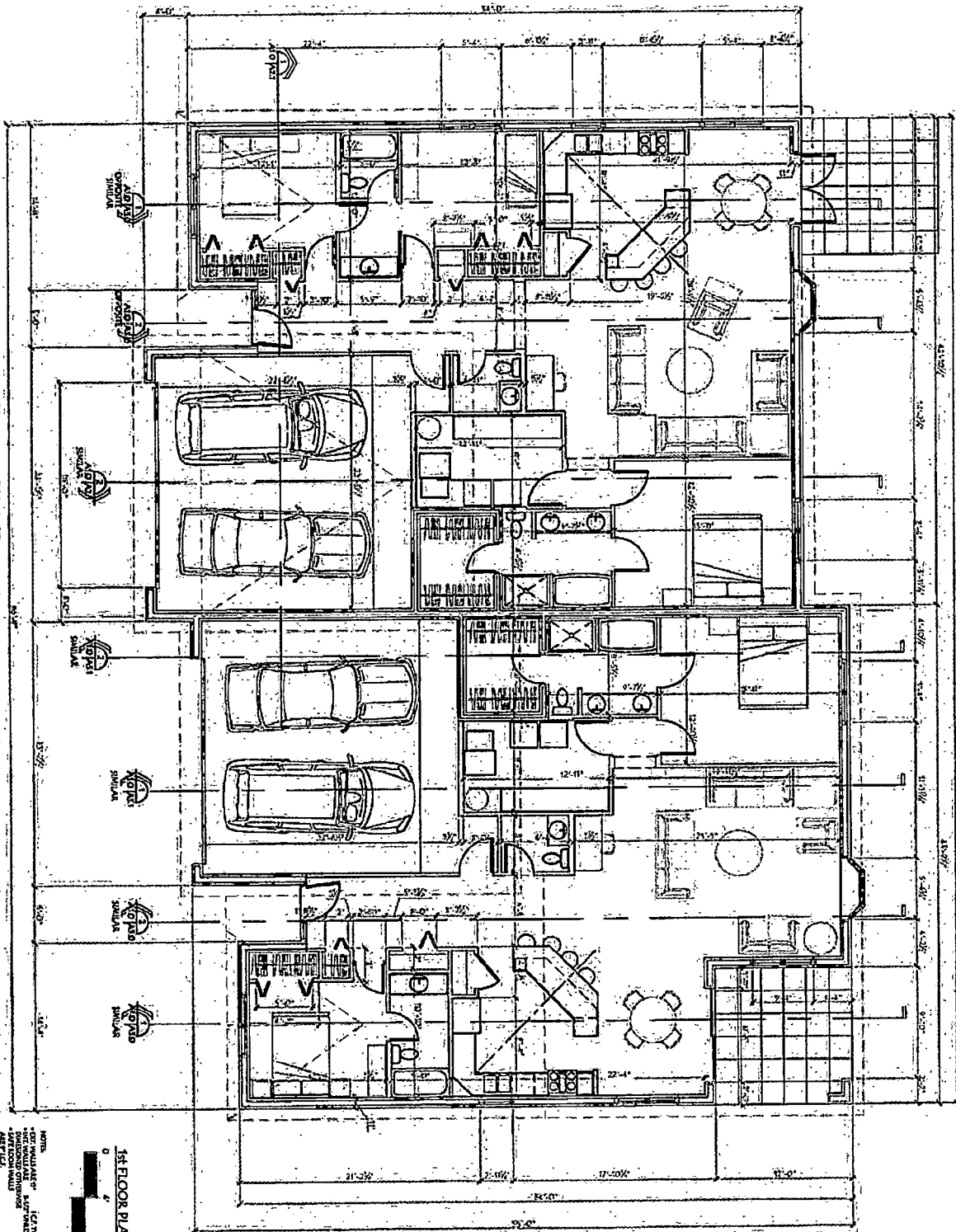
**Management Plan for Common Driveways to serve "clusters" of homes in Serenade:**

Because these driveways may be used by 4 or 6 families living in the "cluster" of homes accessed, the following is offered as the preferred management plan;

A separate document shall be devised for the use with all of the owners in individual clusters so served by such common driveways, with such separate document common and identical to all of the owners served in each individual cluster. That document would require that the owners manage such common elements as they see fit, in matters of use and maintenance, which document shall require that a majority of owners concur in such matters of use and maintenance by majorities of 3 out of 4 in such 4-family clusters, and 5 out of 6 in such 6-family clusters, with any holding minority opinions in such cases to abide by the wishes of the required majority.

**Appendix E**

***House Plans/Elevations***



NOTES:  
 1. SEE WALLS AND PARTITION WALLS FOR FINISHES  
 2. SEE WALLS AND PARTITION WALLS FOR FINISHES  
 3. SEE WALLS AND PARTITION WALLS FOR FINISHES  
 4. SEE WALLS AND PARTITION WALLS FOR FINISHES  
 5. SEE WALLS AND PARTITION WALLS FOR FINISHES

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A1.0  
 04/18  
 154  
 154

1st FLOOR PLAN

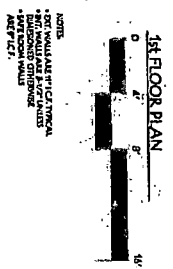
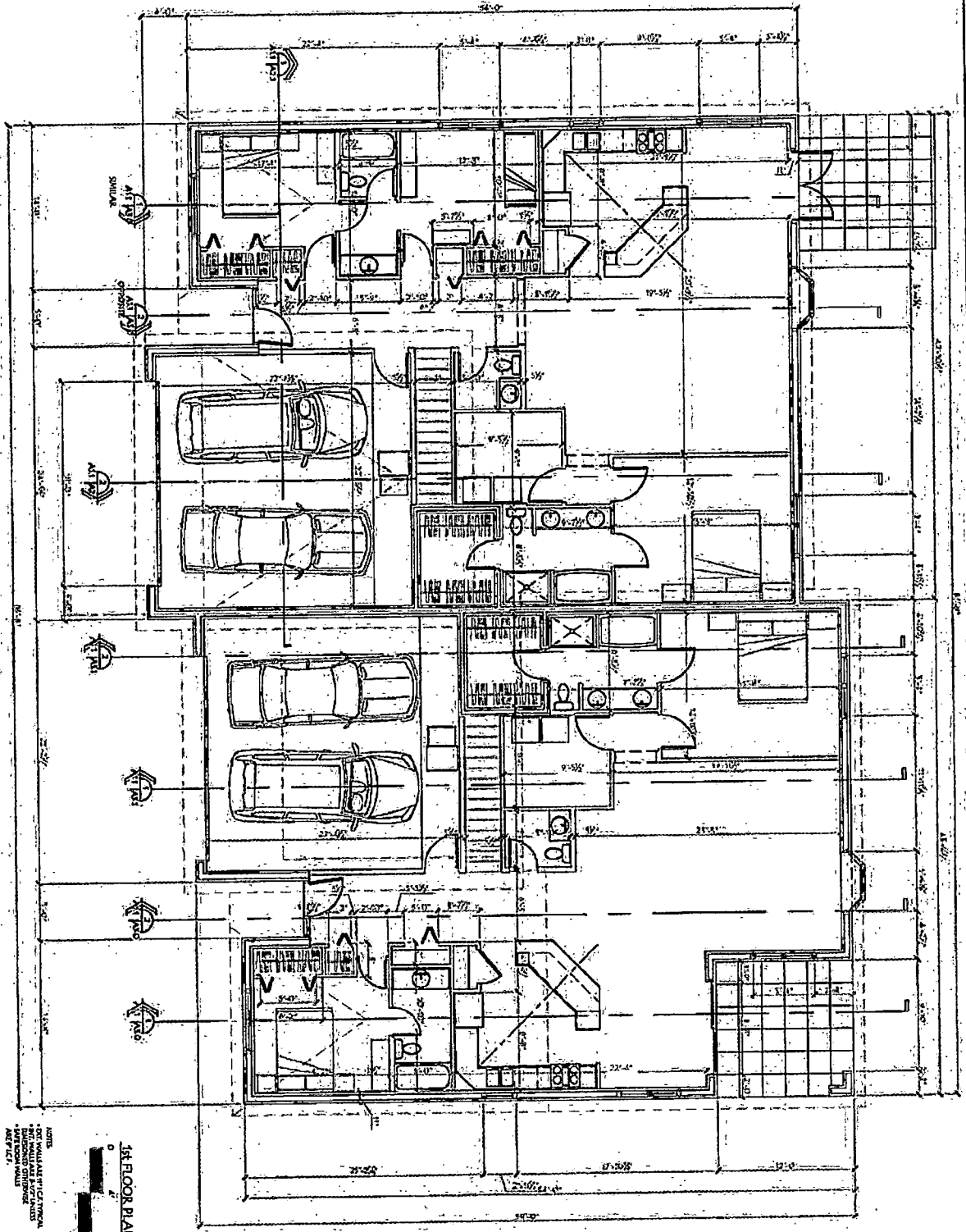
NO.	DESCRIPTION	DATE	BY	CHKD



QUIETTE DESIGN  
 1000 EAST PAPER  
 SUITE 100  
 ARLINGTON, VA 22204  
 TEL: 703.241.1111



# SERENADE VILLAS



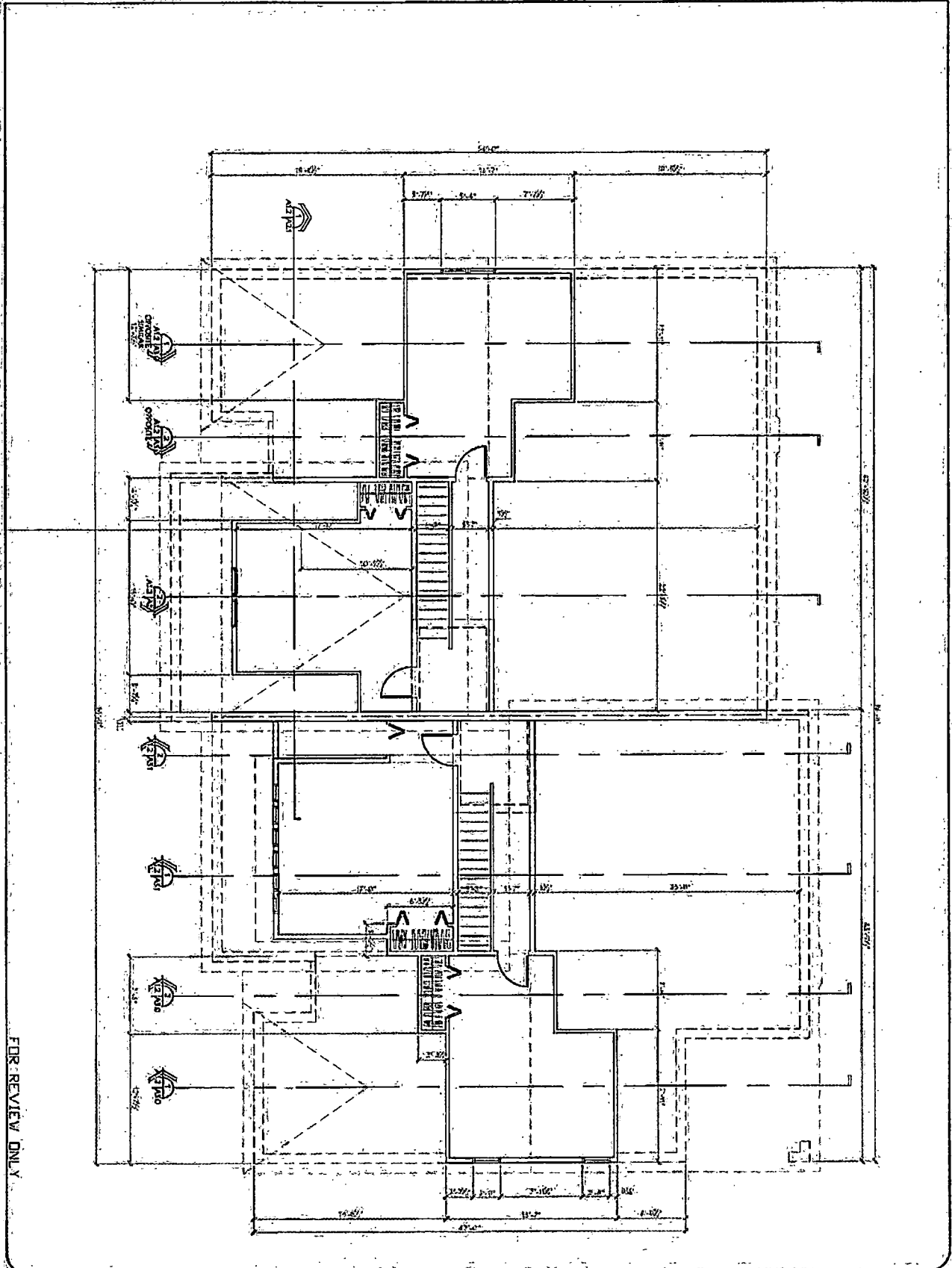
NOTE:  
 1. ALL WALLS AND PARTITIONS  
 TO BE CONCRETE  
 UNLESS OTHERWISE  
 SPECIFIED.

- 1. FINISHES
- 2. MATERIALS
- 3. DIMENSIONS
- 4. SYMBOLS
- 5. NOTES

FOR REVIEW ONLY

			<b>SERENADE VILLAS</b> 1st FLOOR PLAN WITH STAIR	DATE: 2018/04/10 DRAWN BY: [Name] CHECKED BY: [Name]
				PROJECT NO: [Number] SHEET NO: [Number]

# SERENADE VILLAS



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A1.2  
 04/12/2016  
 prof. task  
 10/1

2nd FLOOR PLAN

NO.	REVISIONS	DATE	BY

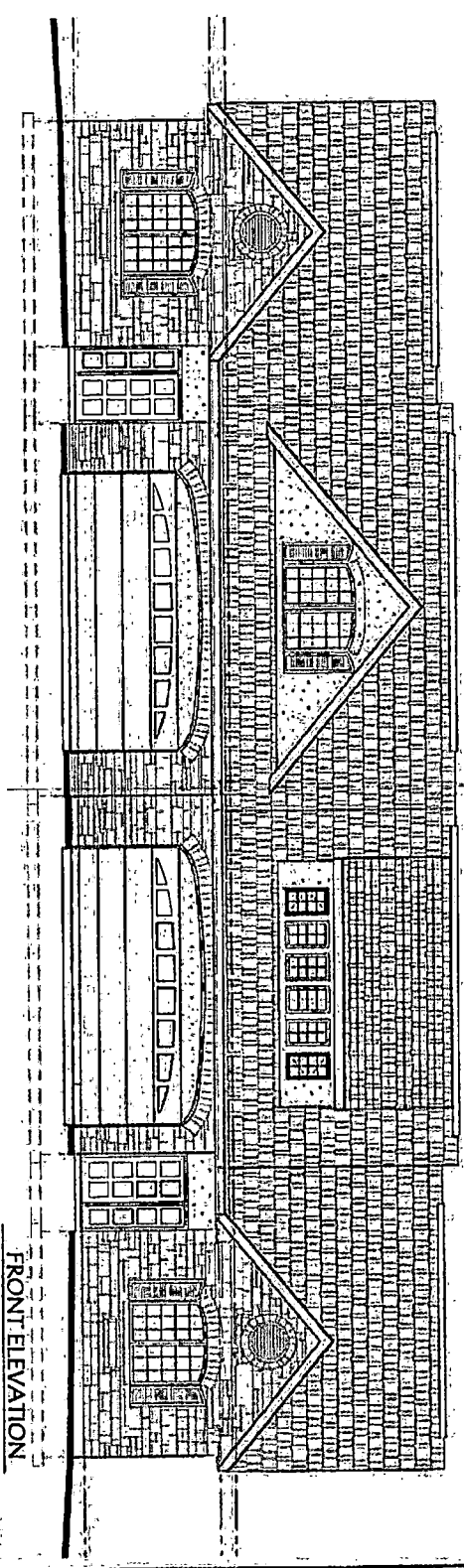


ARCHITECTS  
**CHULSTE DESIGN**  
 1005 S. STATE ROAD #4  
 BRUNNEN, IL 60089  
 PHONE 815.312.1111

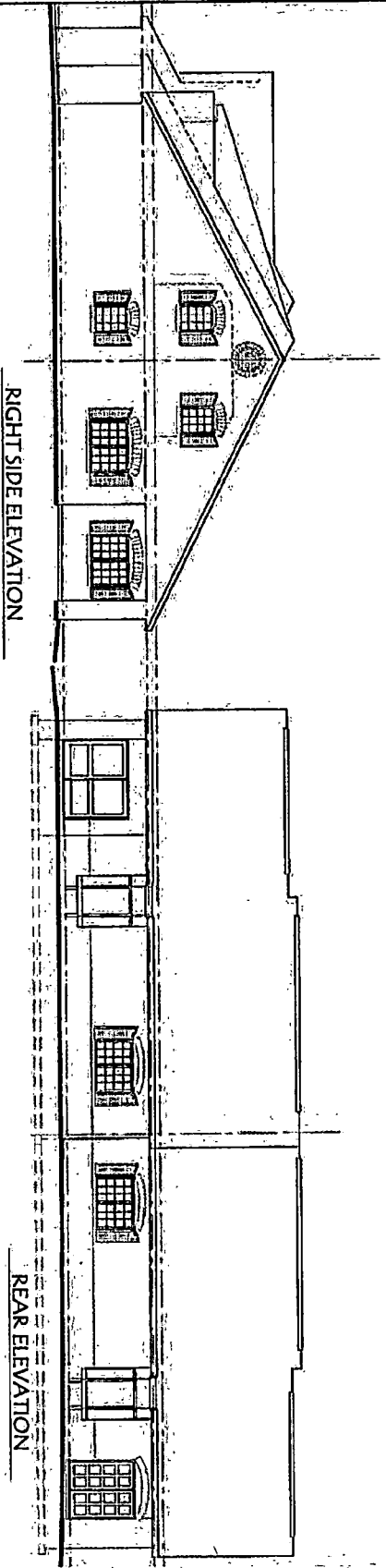


# SERENADE VILLAS





FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION

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# SERENADE VILLAS

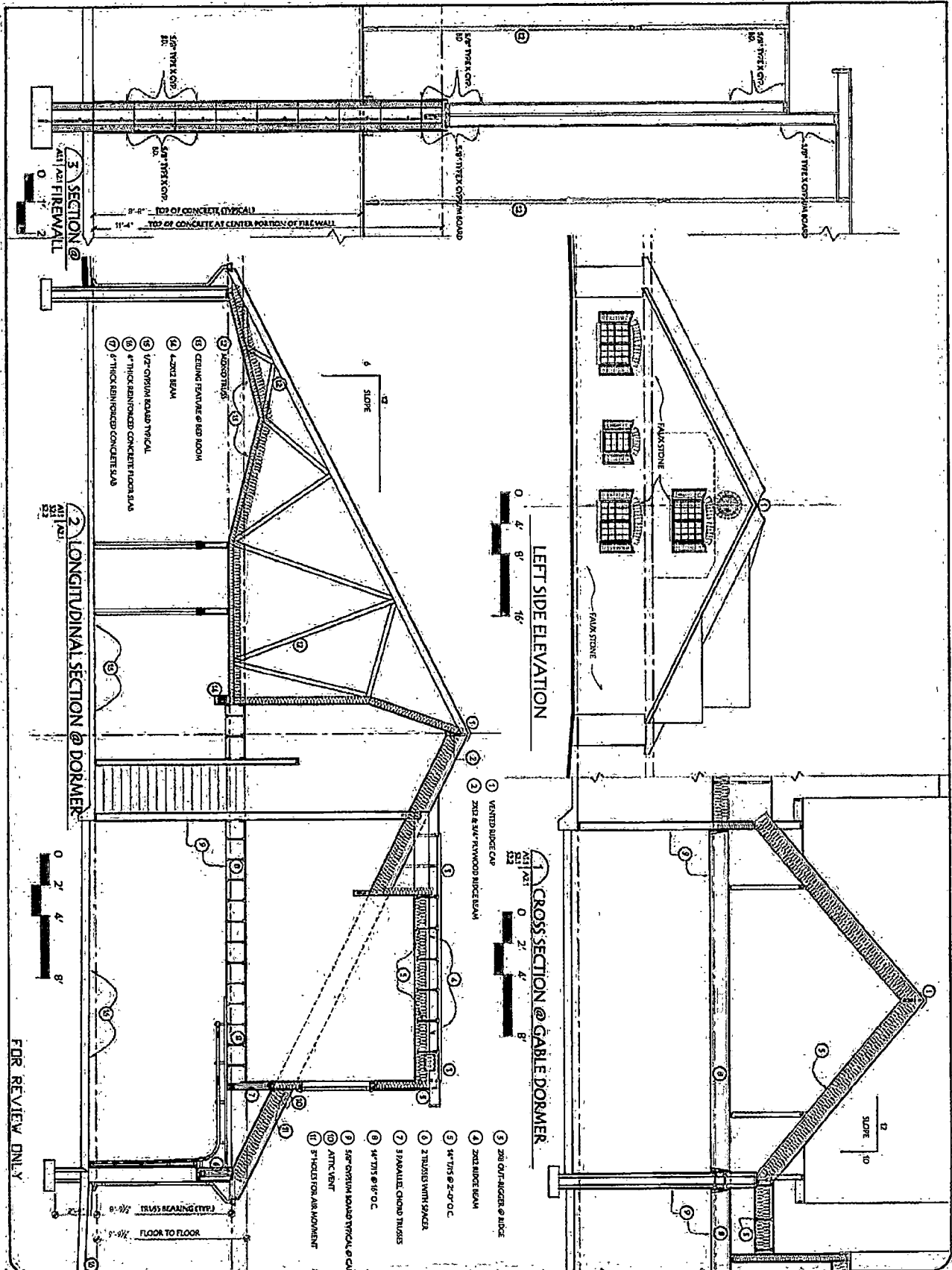


**ARCHITECTS**  
**CHAUETTE DESIGN**  
 4085 SHERWOOD  
 ARLINGTON, TX 76010  
 817-441-0210

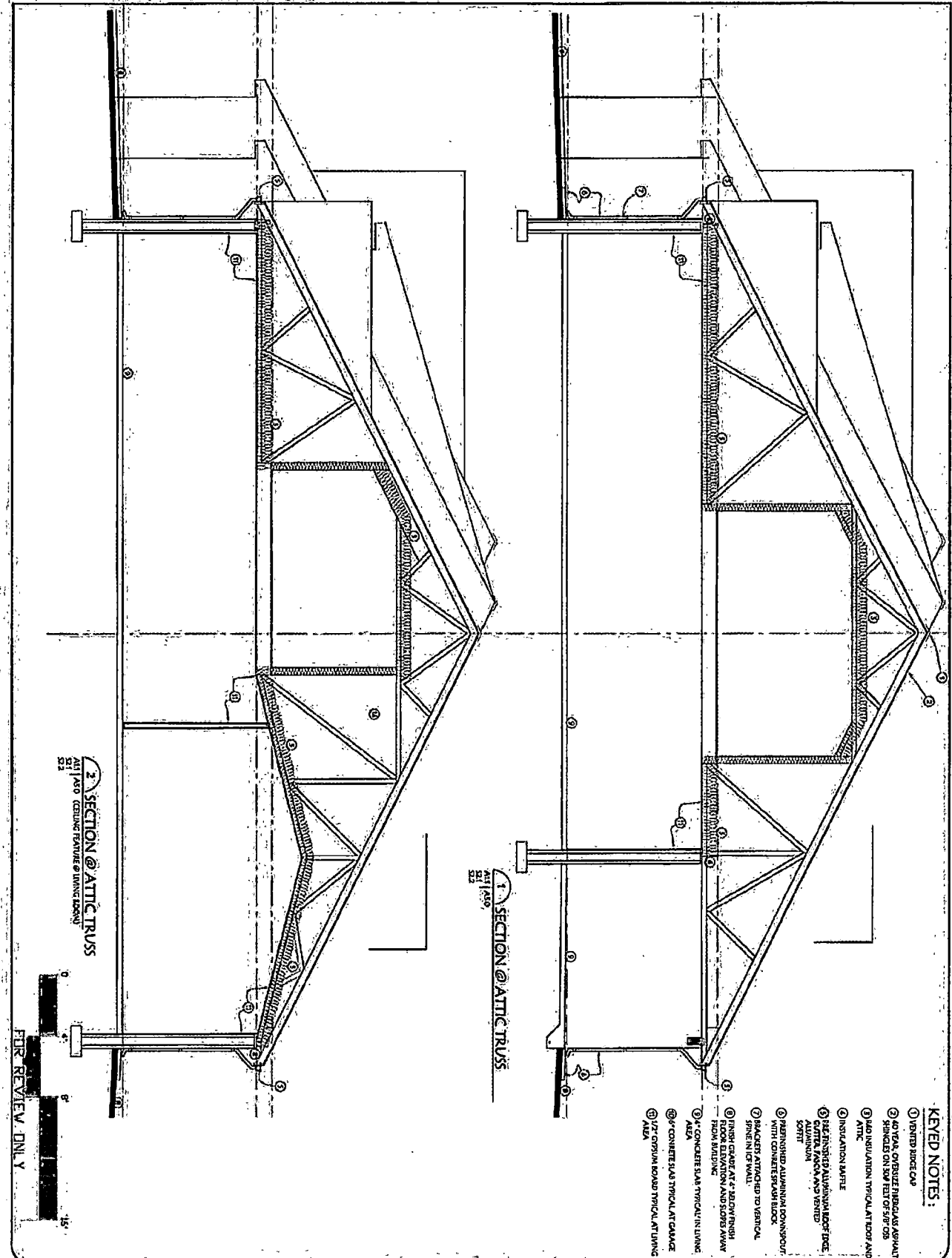


NO.	DESCRIPTION	DATE

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 date 3/26/2016  
 prof. lsc  
 file



<p><b>A2.1</b></p> <p>DATE: 08/20/19          PROJ: Serenade          DRAW: 001</p>	<p><b>ELEVATION &amp; SECTIONS</b></p>	<p><b>Serenade</b></p>	<p><b>QUALITY DESIGN</b>          1005 STATE ROUTE 4          STURDIVANT, TN 38856          615.442.2117</p>		<p><b>SERENADE VILLAS</b></p>





**KEYED NOTES:**

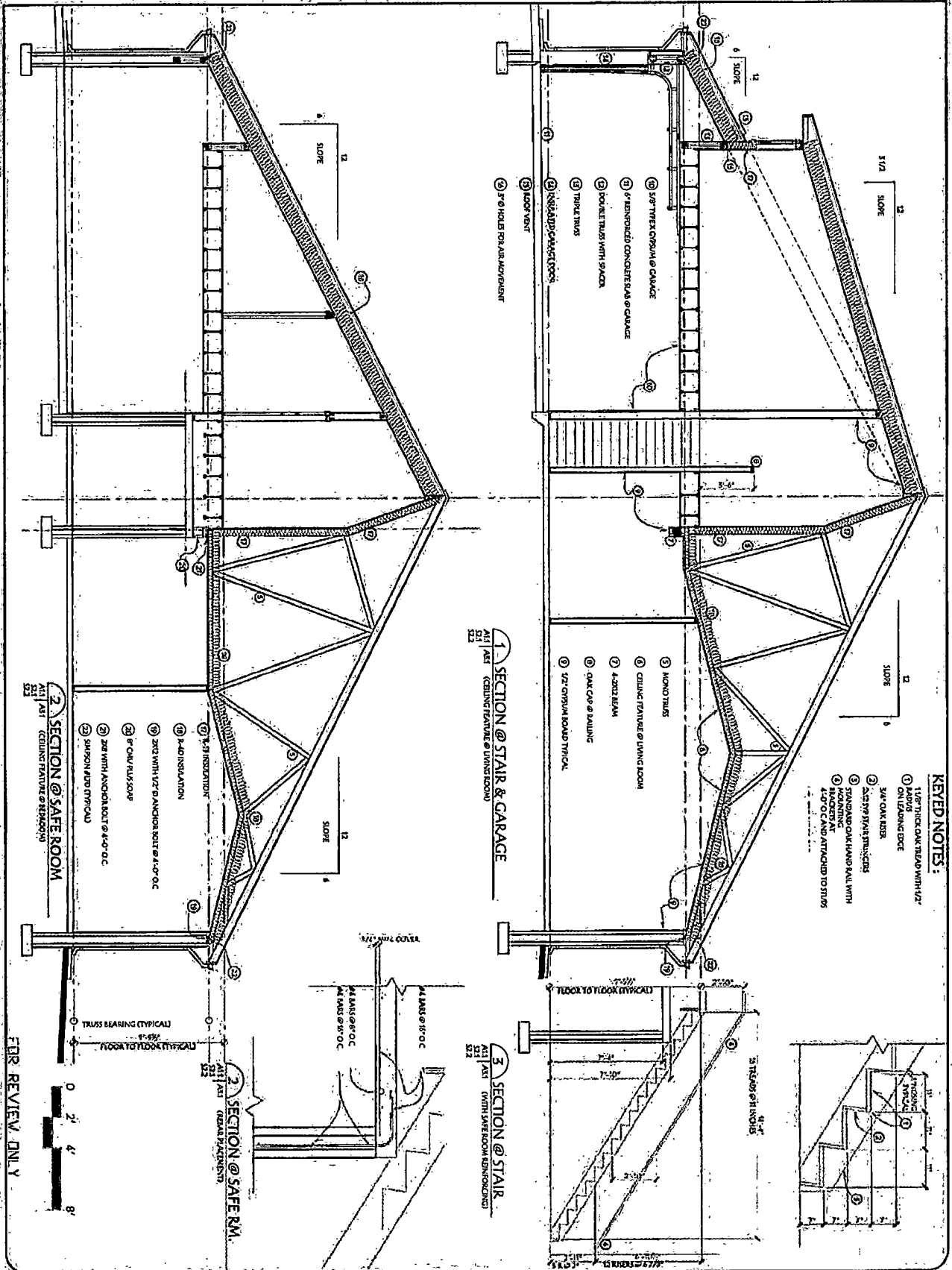
- ① VERIFIED ROOF CAP
- ② 40 YEAR, OVERSIZE FIBERGLASS ASPHALT SHINGLES ON SOAF EAST OF 5/8" OSB
- ③ 400 INSULATION TYPICAL AT ROOF AND ATTIC
- ④ INSULATION BATT
- ⑤ PRE-FINISHED ALUMINUM ROOF PANELS WITH 1/2" INSULATION AND VENTED SOFFIT
- ⑥ REINFORCED ALUMINUM DOWNSPOUT WITH CONCRETE/PAVING BLOCK
- ⑦ 1/4" GYPSUM BOARD ATTACHED TO VERTICAL BRACKET TO WALL
- ⑧ FLOOR GYPSUM BOARD AT 2'-0" BELOW ROOF FROM GYPSUM BOARD AND SCREW FROM FROM WARDING
- ⑨ 4" CONCRETE SLAB TYPICAL IN LIVING AREA
- ⑩ 6" CONCRETE SLAB TYPICAL AT GARAGE
- ⑪ 1/2" GYPSUM BOARD TYPICAL AT LIVING AREA

1 SECTION @ ATTIC TRUSS  
 ATT 150, 151, 152

2 SECTION @ ATTIC TRUSS  
 ATT 150 (CEILING FEATURE @ LIVING ROOM)  
 151, 152

FOR REVIEW ONLY

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**KEYED NOTES:**

- ① 1 1/2" THICK OAK TREAD WITH 1/2" ON LANDING EDGE
- ② 3/4" OAK RISER
- ③ 2x6 TYPICAL JOISTS
- ④ STANDARD OAK HAND RAIL WITH 1/2" OAK BALUSTER
- ⑤ 4x6 OAK AND ATTACHED TO STUDS

- ① 5/8" TYPICAL JOIST @ GARAGE
- ② 1" REINFORCED CONCRETE @ 4' O.C. @ GARAGE
- ③ JOIST TIES WITH SPACER
- ④ TRUSS TIES
- ⑤ 2x6 TYPICAL JOIST @ GARAGE
- ⑥ 2x6 TYPICAL JOIST @ GARAGE
- ⑦ 2x6 TYPICAL JOIST @ GARAGE
- ⑧ 2x6 TYPICAL JOIST @ GARAGE
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- ㊺ 2x6 TYPICAL JOIST @ GARAGE

**1 SECTION @ STAIR & GARAGE**

**3 SECTION @ STAIR**

**2 SECTION @ SAFE ROOM**

**2 SECTION @ SAFE RM.**

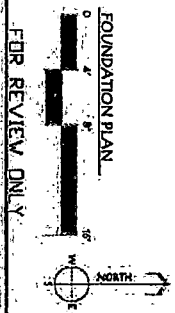
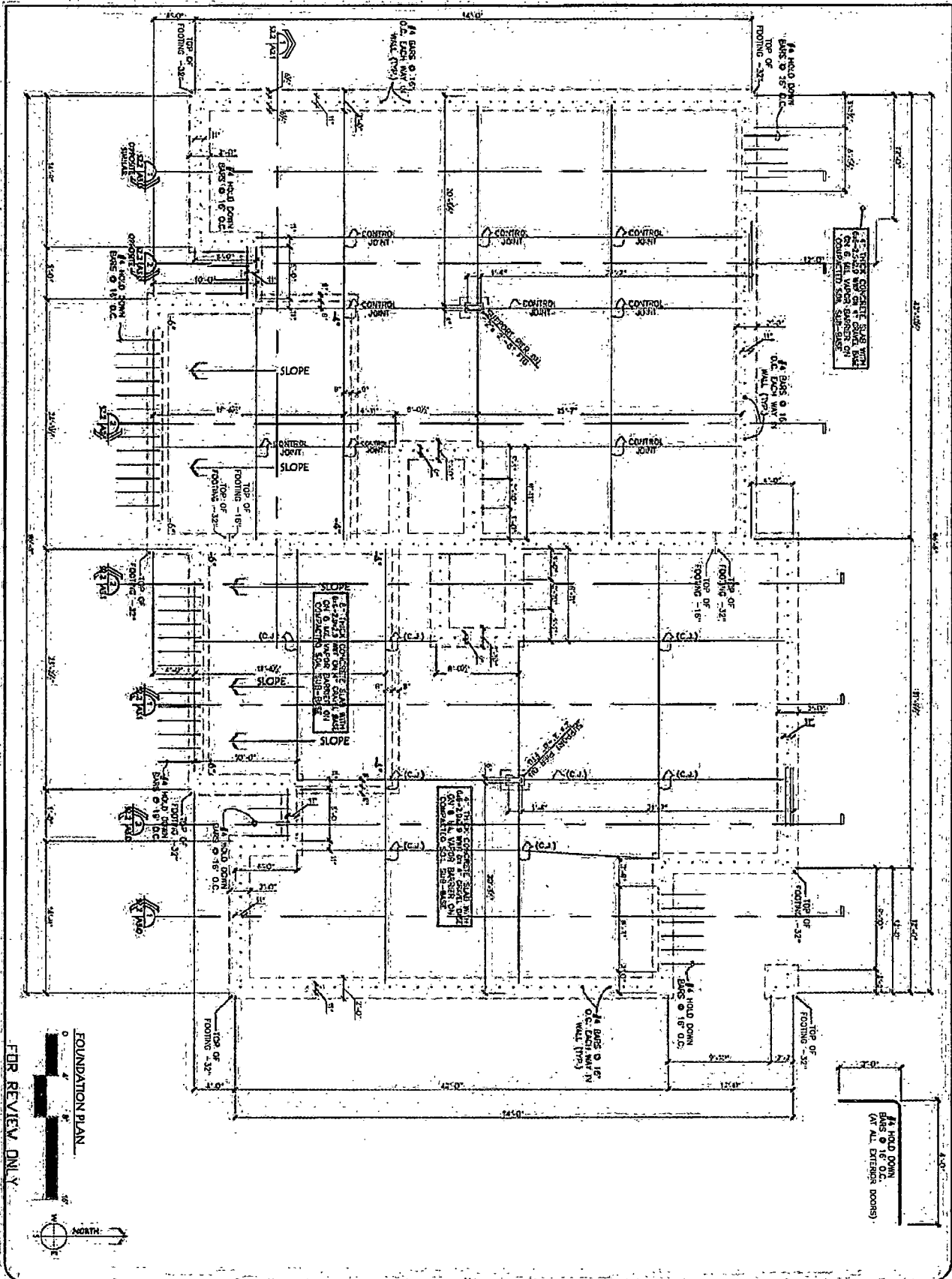
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**Serenade**


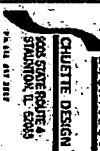

CHUETTE DESIGN  
300 WHITE PINE  
SPRINGFIELD, IL 62454  
618.328.2220

**SERENADE VILLAS**

DOC. 2019R13810 Pg 36 of 38



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<p style="font-size: x-small; margin: 0;">FOUNDATION PLAN</p>				



Lap Siding, 2 kinds of porches, 2 kinds of dormers\*-